

INSPECTIONS

The City of Park Hills will conduct the following inspections for detached garage, shed and accessory buildings:

Footing:

If required, inspection of the footing shall be made after any required forms are erected and any required reinforcing steel is in place and supported prior to the placing of concrete.

Plumbing Ground Rough

This inspection is conducted when any plumbing or electric is installed under a concrete floor prior to pouring the floor slab.

Complete Rough

This inspection is conducted when all framing, fire blocking, above ground plumbing, electrical and mechanical systems are in place. Inspection approval is required before insulating and/or drywall or paneling can be installed.

Final Inspection

This is conducted when the entire project is completed prior to occupancy or use of the structure.

The permit applicant is responsible to call for all required inspections.

573) 431-3577 Inspection Line
Inspections called in by 3:00 p.m. will be on the next business day's schedule.

The City of Park Hills's Community Development Department supports and encourages every resident's decision to improve their home. Approval of plans and inspection of work being done helps ensure your home improvement project meets minimum code requirements while improving your property.

We look forward to helping you.

**Director of Community
Development**

This is a general guide for the construction of a detached garage, shed, or other accessory building within the City of Park Hills, Mo. All code requirements are too extensive to list within this guide.

For specific questions or further information, please contact the

**Community Development
Department at:**

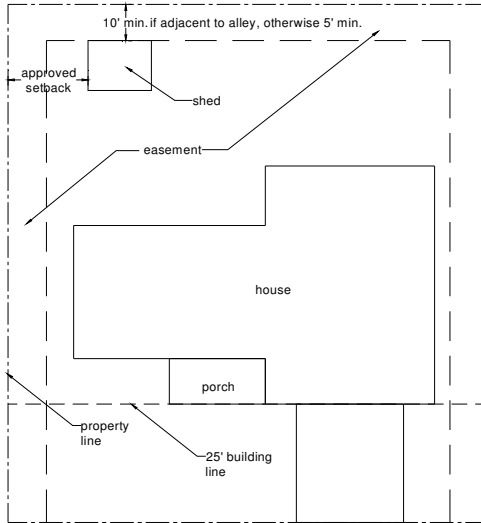
(573) 431-3577



Detached Garage, Shed and Accessory Structure

City of Park Hills, Missouri
Community Development
9 Bennett Street
Park Hills, MO. 63601
(573) 431-3577
www.parkhillsmo.net

Site Plan Example



To Obtain a Permit

Please submit two copies of the following:

Site Plan

- ❑ A copy of your site plan showing location and dimensions of the garage or detached accessory building. Include all other buildings on the property with easements and setbacks. The plan should be to scale.
- ❑ On corner lots, structures must be behind the building line.
- ❑ Shall not be located within any required front, side or buffer yard.
- ❑ Must meet setback requirements for the primary structure if located within 10 feet of primary structure.
- ❑ If a detached garage is closer than five feet to your house, the inside wall(s) facing the house must be fire protected. (1/2" drywall is acceptable)

- ❑ Shall not exceed the height of the main structure as measured from the adjacent finished grade to the median roof height.
- ❑ Shall not be located closer than 5 feet from any rear property line, unless adjacent to an alley then the setback shall be 10 feet. Shall meet the side yard set back requirements for the principle structure on the property.

Construction plans

- ❑ **Prefabricated shed:** This information is available from the retailer and should include anchorage.
- ❑ **Custom (stick built):** All detached buildings custom built must be constructed of materials and designed architecturally to match the primary structure on the property.

- ❑ Foundation plans (if needed) shall include:

Dimensions of foundation walls

Footings and/or pier locations/sized

Beam, column and pile locations

A detail for each of the above

- ❑ Framing Plans shall include:

Lumber size and length

Spacing of studs and joist

Door and window size and location

A typical "wall section" showing the types and sizes of materials used

Roof framing or truss information

Pitch of roof

- ❑ Electrical, plumbing and HVAC plans as they apply to your project.

Construction Guidelines

- ❑ Frost / foundation walls, piers and other permanent supports of all buildings and structures larger than one hundred fifty (250) square feet in area or ten (10) feet in eave height shall extend a minimum thirty (30) inches below grade. Spread footings of adequate size shall be provided where necessary to properly distribute the load within the allowable load bearing value of the soil.
- ❑ All structures must be properly anchored to resist wind uplift.
- ❑ If power lines are run to your garage or detached accessory building, they should be underground and conform to the current National Electrical Code.
- ❑ All doors and windows must have the proper headers installed and all components must comply with the seismic and wind requirements.