



# BUILDING PERMIT APPLICATION GUIDE

New Construction/Renovation/Addition  
Alteration/Garages and Accessory Structure

CITY OF PARK HILLS  
DEPARTMENT OF COMMUNITY DEVELOPMENT  
(573) 431-3577 PHONE  
(573) 431-2598 FAX

DEPARTMENT OF COMMUNITY DEVELOPMENT  
GENERAL OFFICE INFORMATION

Community Development Department personnel are available between the hours of 8:00 a.m. and 5:00 p.m., Monday through Friday to provide information and answer questions concerning the following:

- Building permit requirements and plan submittals;
- Code enforcement activities;
- Zoning issues and land-use regulations;
- Floodplain management;
- Dangerous building ordinance enforcement and/or condemnation;
- City Cemetery plots;
- Housing Code inspections and Certificates of Occupancy;
- Open burning permits.

CONTACTS

ZONING, COMMERCIAL PLAN REVIEW AND INSPECTION, FLOODPLAIN MANAGEMENT AND PERMITTING, CEMETARY

Joshua Hankins, Community Development Director  
(573) 431-3577 extension 32

RESIDENTIAL PLAN REVIEW AND INSPECTION, HOUSING INSPECTION

James Pope, Building Inspector  
(573) 431-3577 extension 34

CODE ENFORCEMENT, NUISANCE ABATEMENT

David Dill, Code Enforcement Officer  
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DEPARTMENT SCHEDULING

Lori A. Bolius, Administrative Assistant  
(573) 431-3577 extension 10

CONTRACTOR LICENSING

Paula Lee, City Collector  
(573) 431-3577 extension 18

DEPARTMENT MAILING ADDRESS

9 Bennett Street  
Park Hills, MO 63601

## ADOPTED CODES

The City of Park Hills has adopted the following codes:

2012 International Building Code  
2012 International Residential Code  
2012 International Plumbing Code  
2012 International Mechanical Code  
2012 International Fire Code  
2011 National Electric Code

Copies of the above listed codes are available for public inspection and use during normal business hours at City Hall. Individual pages or sections of a code may be photocopied for a fee of \$.10 per page.

Code books may be purchased by visiting the International Code Council website at [www.iccsafe.org](http://www.iccsafe.org).

## LOCAL AMENDMENTS TO THE ADOPTED CODES

The City of Park Hills has made amended the above referenced codes. The following lists the local amendments by section number;

The following sections of the 2012 International Building Code are hereby revised, as follows:

Section 101.1 Insert: City of Park Hills.

Section 103 Replace *Department of Building Safety* with Department of Community Development.

Section 105.2 Building #1 is amended to read "One-story detached accessory structures used as tool and storage sheds, playhouses, and similar uses, provided the floor area does not exceed 100 square feet in area.

Section 105.2 Building #2 Delete in its entirety.

Section 107.2.1.2 is added as a new provision to read as follows:

An application for a permit for a single-family dwelling or residence or multi-unit dwelling of four (4) or fewer units shall be accompanied by the City's RESIDENTIAL FIRE SPRINKLER OPTION FORM signed by the builder and this purchaser affirming that a fire sprinkler system was offered to the purchaser prior to entering into the purchase contract in conformance with Section 903.1.2 of this Code. If there is no purchaser at the time of the permit application submittal, then said signed FORM shall be submitted as soon as there is a purchaser and prior to the issuance of a certificate of occupancy for the new residence.

Section 110.3.7 Delete in its entirety.

Section 113 Replace *Board of Appeals* with Board of Adjustment.

Section 903.1.2 is added as a new provision to read as follows:

*Offer to Install.* Notwithstanding the provisions of the Building Code and International Building Code, as amended and adopted by the City of Park Hills, Missouri, a builder of single-family dwellings or residences or multi-unit dwellings of four (4) or fewer units shall offer to any purchaser on or before the time of entering into the purchase contract the option, at the purchaser's cost, to install or equip fire sprinklers in the dwelling, residence or unit. Notwithstanding any other provision of law to the contrary, no purchaser of such a single-family dwelling, residence, or multi-unit dwelling shall be denied the right to choose or decline to install a fire sprinkler system in such dwelling or residence being purchased.

Section 903.2.8 Add the following:

Exception 1: One- and Two-Family Dwellings.

Exception 2: Apartment buildings in use group R2 which contain no more than sixteen (16) dwelling units and do not exceed two (2) stories above grade, provided that 2-hour rated separations are provided between occupancies

*1106.5 Van Spaces.* When an owner of a property restripes a parking lot or constructs a new parking lot, one (1) in every four (4) accessible spaces, but not less than one (1), shall be served by an access aisle a minimum of ninety-six (96) inches wide and shall be designated "lift van accessible only" with signs that meet the requirements of the Federal Americans with Disabilities Act, as amended, and any rules or regulations established pursuant thereto.

Section 1612.3 Insert: City of Park Hills, Missouri.

Section 1612.3 Insert: June 16, 2011

The following sections of the 2011 National Electric Code are hereby revised as follows:

Section 406.12 is deleted in its entirety.

The following sections of the 2012 International Fuel Gas Code are hereby revised:

Section 101.1 Insert: City of Park Hills.

Section 103 Replace *Department of Building Safety Inspection* with Department of Community Development.

Section 106 Delete in its entirety.

Section 108.4 Insert: Violation, \$500.00, 30.

Section 108.5 Insert: \$1.00, \$500.00.

Section 109.1 Replace *Board of Appeals* with Board of Adjustment.

Sections 109.2 – 109.7 Delete in their entirety.

The following sections of the 2012 International Plumbing Code are hereby revised to read as follows:

Section 101.1 Insert: City of Park Hills.

Section 103 Replace *Department of Plumbing Inspection* with Department of Community Development.

Section 106 Delete in its entirety.

Section 108.4 Insert: Violation, \$500.00, 30.

Section 108.5 Insert: \$1.00, \$500.00.

Section 109.1 Replace *Board of Appeals* with Board of Adjustment.

Sections 109.2 – 109.7 Delete in their entirety.

Section 305.4.1 Insert: 24 inches, 24 inches.

Section 410.1 Add the following:

Exception: In buildings or tenant spaces with an occupant load of fifty (50) or less, a bottled water dispenser, water cooler or other approved means shall be allowed in lieu of the required drinking fountain.

Section 903.1 Insert: 12 inches.

The following sections of the 2012 International Mechanical Code are hereby revised to read as follows:

Section 101.1 Insert: City of Park Hills.

Section 106 Delete in its entirety

Section 107 Replace *Department of Plumbing Inspection* with Department of Community Development.

Section 108.4 Insert: Violation, \$500.00, 30.

Section 108.5 Insert: \$1.00, \$500.00.

Section 109.1 Replace *Board of Appeals* with Board of Adjustment.

The following sections of the 2012 International Fire Code are hereby revised to read as follows:

Section 101.1 Insert: City of Park Hills.

Section 109.4 Insert: Violation, \$500.00, 30.

Section 111.4 Insert: \$1.00, \$500.00.

The following sections of the 2012 International Residential Code are hereby revised to read as follows:

Section R101.1 Insert: City of Park Hills.

Section R105.2 Building #1 is amended to read "One-story detached accessory structures used as tool and storage sheds, playhouses, and similar uses, provided the floor area does not exceed 100 square feet in area.

Section R105.2 Building #2 and # 10 are deleted in their entirety.

Section R108.6 is amended to read "Any person who commences work requiring a permit on a building, structure, electrical, gas, mechanical or plumbing system before obtaining the necessary permits shall be subject to a fee of double the original permit fee in addition to the required permit fees."

Section R112 Replace Board of Appeals with Board of Adjustment.

Table R301.2 (1) Insert the following values:

Ground Snow Load: 20 psf

Wind Speed: 90 mph

Topographic Effects: NO

Seismic Design Category: C

Weathering: Severe

Frost line depth: 30 inches

Termite: Slight to Moderate

Winter Design Temp: 10°F

Ice Barrier Underlayment Required: NO

Flood Hazards:

- a) June 16, 2011
- b) FIRM June 16, 2011

Air Freezing Index: 750

Mean Annual Temperature: 55°F

Section R312.2 is deleted in its entirety.

Section R313.2 delete and replace with the following:

*Builder to offer automatic fire sprinkler systems.* A builder of single family dwellings or residences or multi-family dwellings of four or fewer units shall offer to any purchaser on or before the time of entering into the purchase contract the option, at the purchaser's cost, to install or equip fire sprinklers in the dwelling, residence or unit.

Section 4002.14 is deleted in its entirety.

## PERMIT FEE SCHEDULE

### BUILDING PERMIT FEES

The following fee schedule shall apply for all building permits:

New Construction – Primary Residential Structures

Single Family Dwelling - \$.07 per square foot of gross floor area (excluding basement)

Two Family Dwelling - \$.07 per square foot of gross floor area (excluding basement)

New Construction – Accessory Residential Structures

Detached Garages - \$25.00

Other Accessory Structures - \$15.00

New Construction – Multi Family, Commercial, and Industrial Structures

Multi-Family Dwelling - \$.07 per square foot of gross floor area

New Construction – 10,000 square feet and under - \$.08 per square foot of gross floor area

New Construction – Over 10,000 square feet - \$.085 per square foot of gross floor area

Plan Review Fee – A base fee of \$50.00 shall apply in all cases except when plans are submitted for buildings, whose physical gross area exceeds the Base Tabular Area of table 503 of the Building Code. Such plans are subject to review by the City Engineer. The applicant shall be responsible to pay the actual cost of the plan review. Plan review fees shall not exceed \$500.00 in any case.

Note: Building permit fees for additions or substantial alteration of the above listed building types shall be based on the applicable fee schedule for new construction.

### Occupancy Inspection Fees

The following fee shall apply for all occupancy inspections:

Initial Inspection (I) and Follow-up Re-inspection (RI) - \$30.00

Re-inspection (R2) - \$40.00

Third Re-inspection (R3) - \$50.00

All inspections after the Third Re-inspection - \$50.00

  
**PLAN SUBMITTAL REQUIREMENTS**

The City of Park Hills has adopted the 2012 International Family of Codes. These codes are applicable to all property within the city limits. All residential property is subject to the 2012 International Residential Code (IRC) and all multi-family, commercial and industrial property is subject to provisions of the 2012 International Building Code (IBC). All construction requires a permit. All applications for a permit shall be accompanied by adequate construction documents to adequately illustrate the proposed construction. Permits shall not be approved unless the minimum construction documents are provided as follows:

<b>Type of Work</b>	<b>Plans Required with application for permit</b>
New Residential Dwellings or Additions Thereto	1) Site Plan and Sealed Land Survey 2) Foundation Plan / Basement Floor Plan: Include pier spacing, pier detail, basement beam (type and size), column size and spacing, joist size, type and spacing 3) Floor plan for each floor of finished space including basement 4) Typical Wall Section 5) Sealed manufacturer's truss drawings 6) Door and Window size schedule (can be shown on floor plan) 7) Building Elevations
Detached Residential Garages	1) Site Plan and Sealed Land Survey 2) Foundation Plan 3) Floor Plan 4) Typical Wall Section 5) Sealed manufacturer's truss drawings
Residential Accessory Structure Over 100 sf.	1) Site plan and Sealed Land Survey 2) Framing details 3) Anchorage method
Commercial Projects Multi-Family Projects Industrial Projects	Full sealed plans are required for application. Plan sets shall have a minimum of floor plan, foundation plan, wall sections, building elevations, door and window schedules, framing details, means of egress components and fire resistive materials design.  All plans shall bear the seal of a Missouri registered design professional.
Interior Renovation	Varies depending on scope of work. Consult the Code Official.
Change of Use	Architectural floor plan. Plan shall indicate the means of egress components and occupant load.  Plan must bear the seal of a Missouri registered design professional

## PLAN SHEET CONTENT

### Site Plan

Site plans shall be drawn to a minimum scale of 1" = 20' and shall contain the following information:

1. Owner's name, mailing address and telephone number.
2. Address where work is to be done.
3. Assessor's parcel number, subdivision lot number and all property dimensions.
4. North Arrow.
5. Name and locations of adjacent streets.
6. Location and setback information for the following:
  - a. Proposed construction or improvements.
  - b. Structures on adjacent properties along the common lot line.
  - c. Propane tanks (if applicable).
  - d. All existing structures.
7. Any easements located on the property.
8. Location or proposed driveways and parking areas.
9. Location of property corners with reference to a Land Survey.

### Foundation Plan

Foundation plans shall show the following information:

1. Complete foundation layout, including:
  - a. Dimensions
  - b. Pier locations
  - c. Footing locations
  - d. Fireplace footings
2. Footing detail with cross sectional view showing:
  - a. Depth, width and reinforcement
3. Pier detail with cross sectional view showing
  - a. Depth, width and dimensions of piers to be used.
4. Slab detail with cross sectional view showing:
  - a. Slab thickness.
  - b. Depth of granular fill.
  - c. Vapor barrier under habitable space.
5. Steel reinforcement.
6. Anchor bolt layout.

## **Floor Plan**

Floor plans shall contain the following information:

1. Square footage of the proposed construction;
2. Room layout showing:
  - a. Dimensions
  - b. Room Use
  - c. Window sizes, types and locations
  - d. Interior and exterior door size and location
  - e. Location of all plumbing fixtures
  - f. Washer and dryer location
  - g. Water heater location
  - h. Location of cooktop, oven, etc.
  - i. Fireplace location and type
  - j. Attic access size and location
  - k. Stairway details and location
  - l. Firewall details and location
  - m. Shearwall type and location
  - n. Location of electrical panel and meter
  - o. Location of all smoke detectors and carbon monoxide alarms
3. Sufficient framing details to illustrate the structural components of the building.

## **Manufacturer's Truss Drawings**

Drawings from the manufacturer of the truss components and their installation shall be provided. The required drawing shall bear the seal of a Missouri Registered Engineer.

## **Building Elevations**

The proposed construction shall be shown from at least two elevations showing the following:

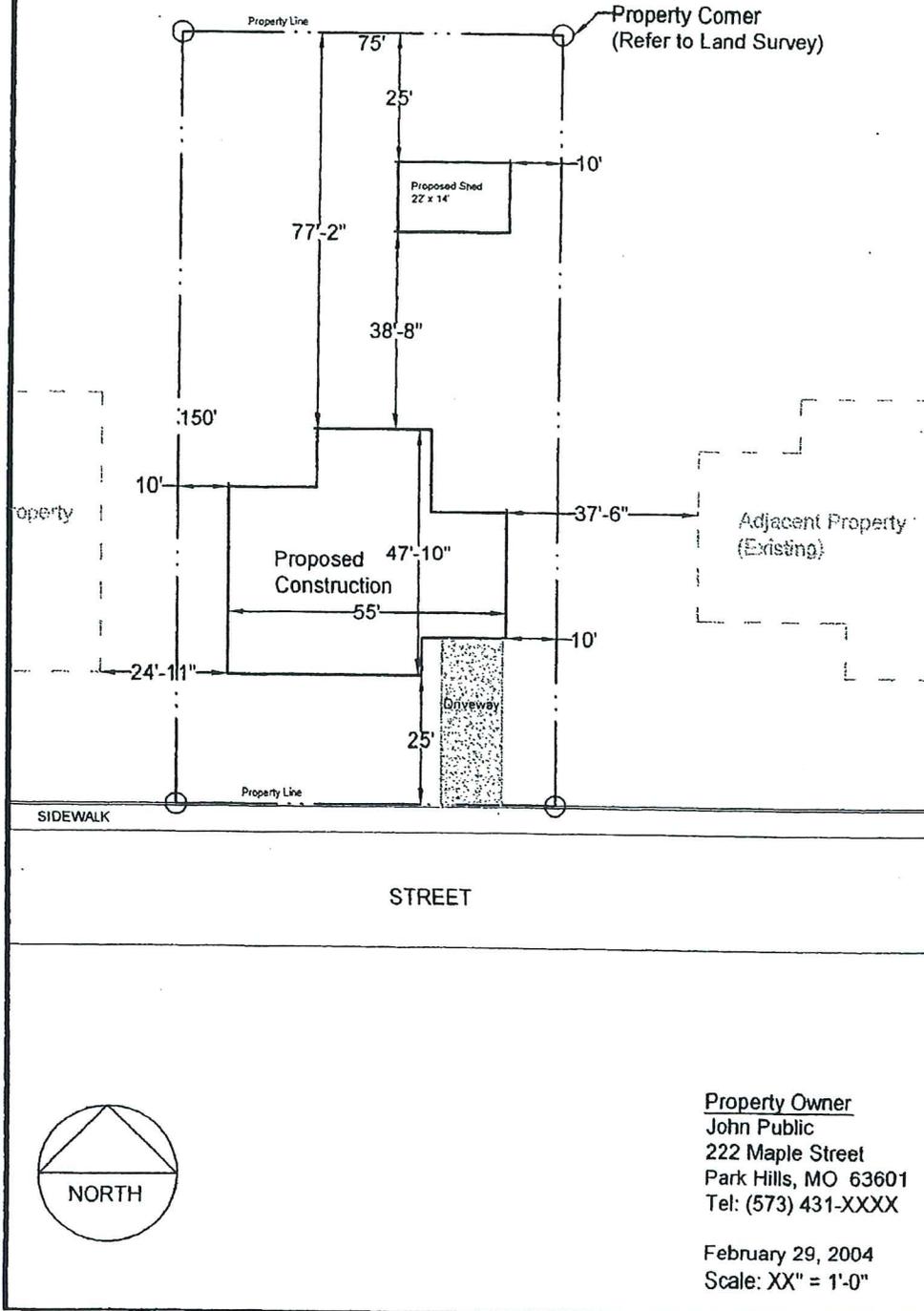
1. Type of wall covering
2. Door and window locations
3. Height of building

# SITE PLAN

222 Maple Street

Lot 6, Block 2, Town of Flat River

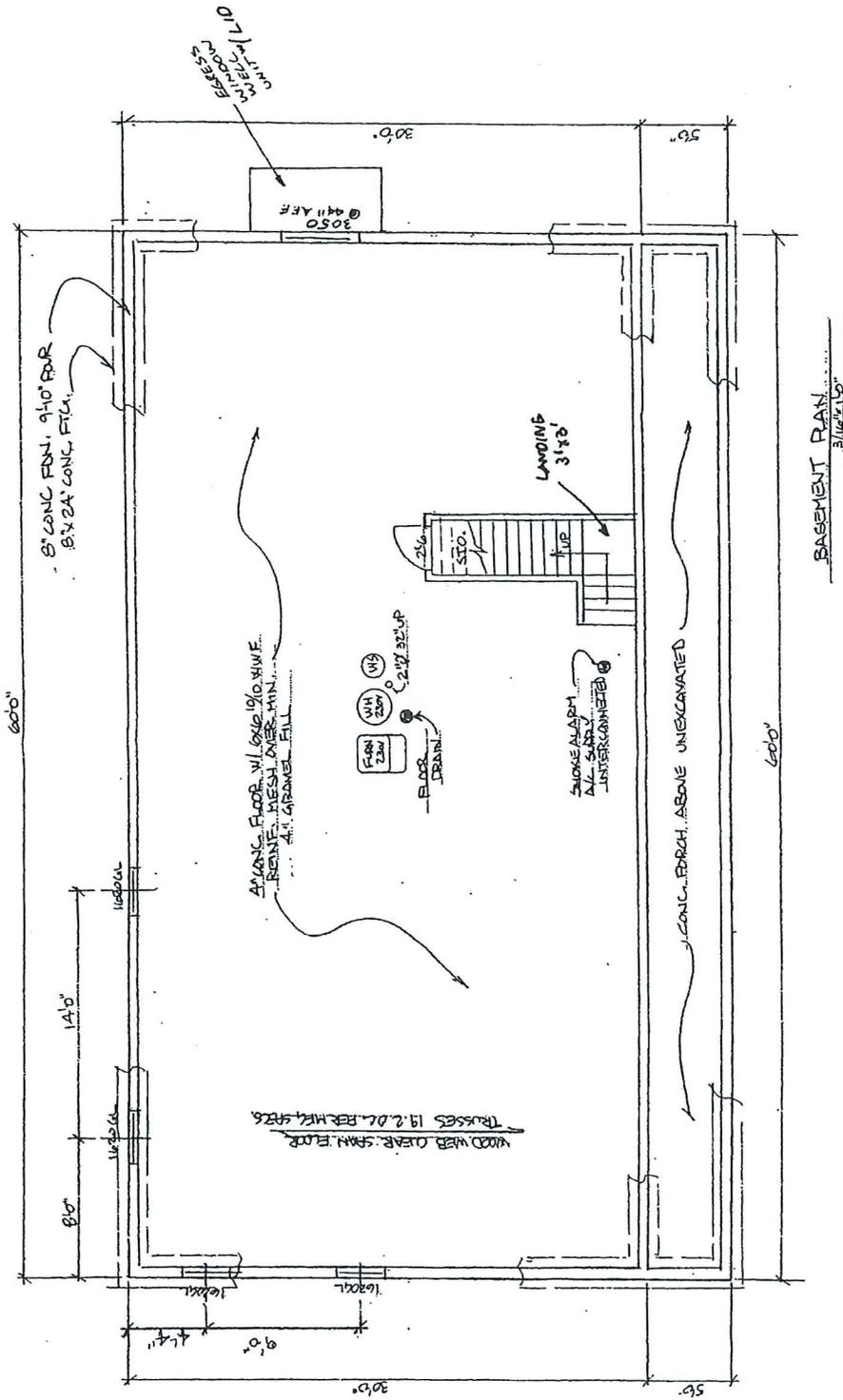
PN 9-6-8-4-27-000500



TYPICAL SITE PLAN

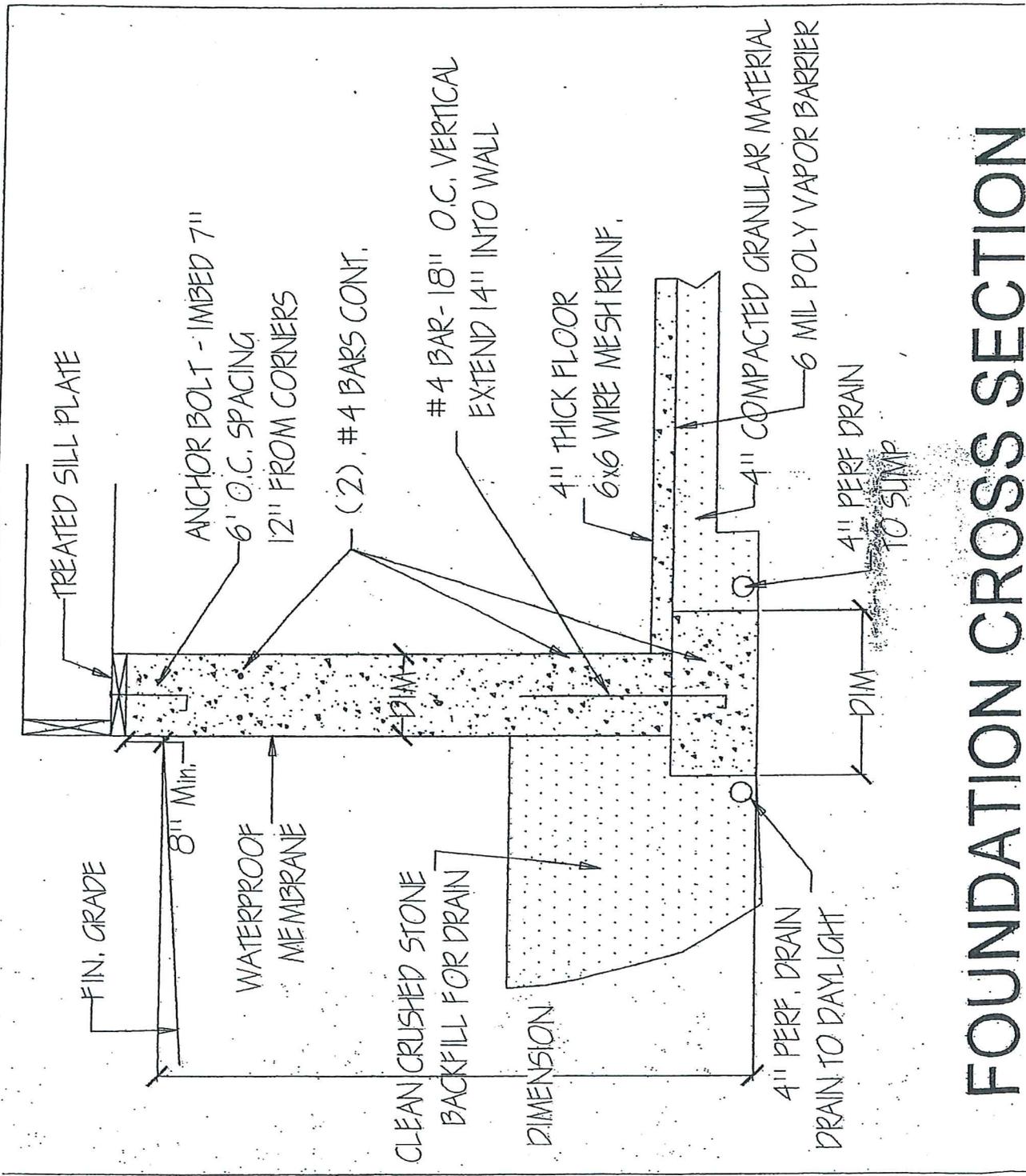
Property Owner  
John Public  
222 Maple Street  
Park Hills, MO 63601  
Tel: (573) 431-XXXX

February 29, 2004  
Scale: XX" = 1'-0"



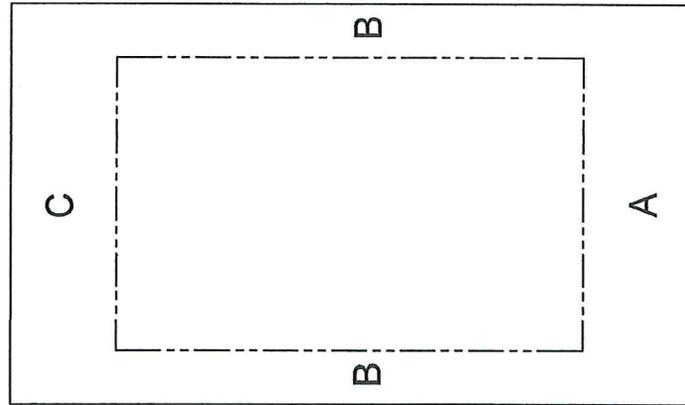
**Basement Floor Plan - For Example Only**





# FOUNDATION CROSS SECTION

# REQUIRED RESIDENTIAL SETBACKS

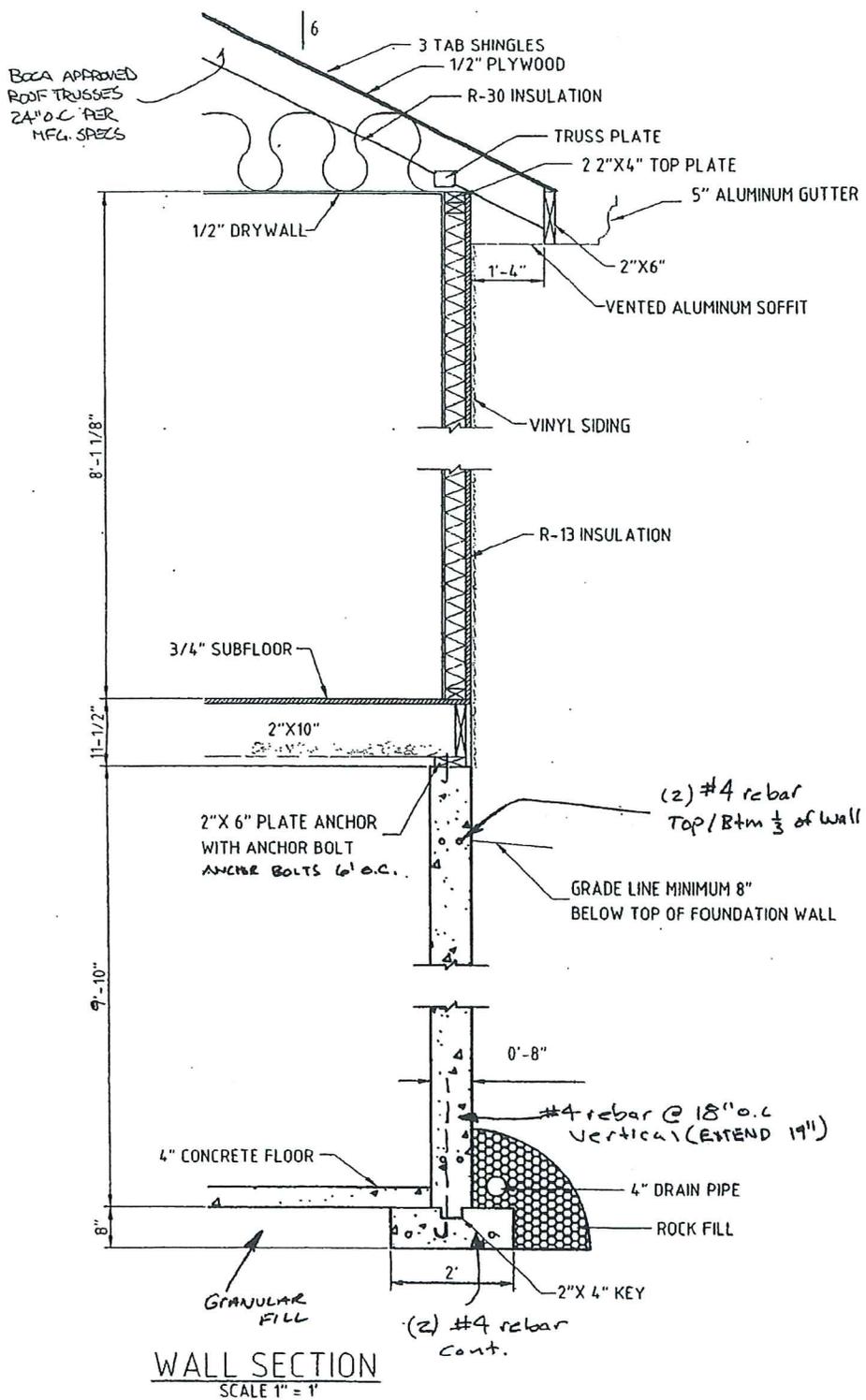


Street

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Zoning District	A Front Yard	B Side Yard	C Rear Yard
R-1	30	15	30
R-2	25	10	25
R-3	25	6	25

\*\* - Corner lots must observe the Required Front Yard on both street frontages.



**Typical Wall Section - For Example Only**

## CONTRACTOR INFORMATION

Any contractor who works within the City Limits is required to be licensed and insured. Permits will not be issued for projects where the listed contractor is not licensed and insured. Contractors may obtain applications for license and insurance information at City Hall. Chapter 500 of the Municipal Code sets forth the requirements for insurance for contractors.

### ***NOTE TO APPLICANTS:***

*Please be sure to ask your contractor if he/she is licensed within the City of Park Hills. If the contractor is not licensed, they may obtain a license prior to the start of your project. License regulations ensure that you are protected against any liability. To check on current contractors licensed to work within the City, please call (573) 431-3577*

Please use the following checklist to aid in the completion of the permit application documents. If you are uncertain about any portion of the application process, please call (573) 431-3577 for assistance.

## **APPLICANT'S CHECK LIST – BUILDING PERMIT APPLICATION**

- Appropriate application fully completed and signed.
- Completed Site Plan attached to application.
- Recent Land Survey attached to application.
- Building plans and drawings attached as required.
- Proposed building location staked on-site.
- Contractors are properly licensed and insured.